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**AKTPEERLESS**  
 environmental & energy services  
 CHICAGO DETROIT FARMINGTON LANSING SAGINAW  
 www.aktpeerless.com

**SUBJECT PROPERTY LOCATION MAP**

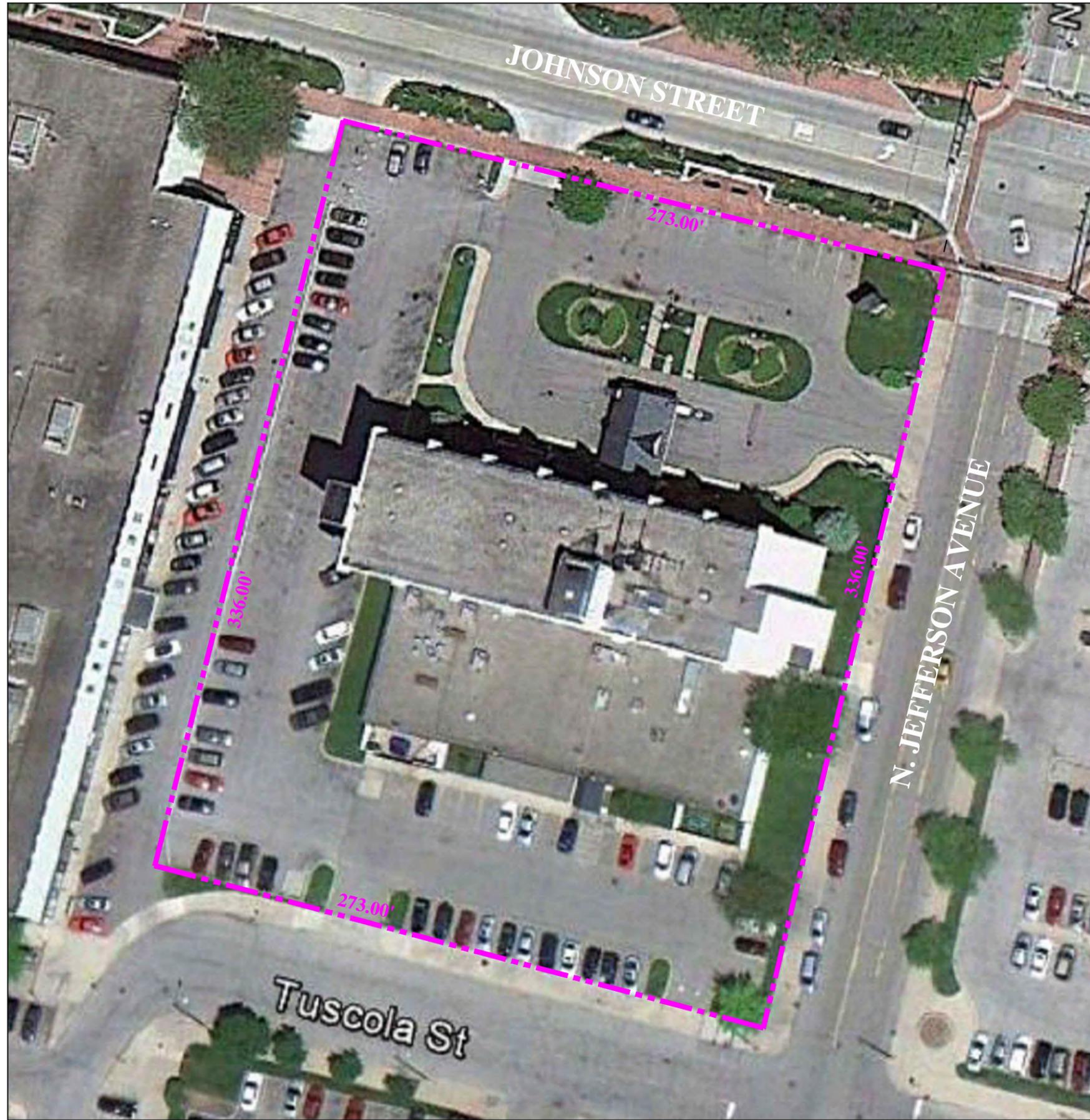
FORMER PLAZA HOTEL  
 400 JOHNSON STREET  
 SAGINAW, MICHIGAN  
 PROJECT NUMBER : 7444s

**LEGEND**



DRAWN BY: OGO  
 DATE: 05-24-12

FIGURE 1



**LEGAL DESCRIPTION**

PARCEL ID # 03-0280-00000

ENTIRE BLK. 60 & ELY 1/2 OF VACATED N BAUM ST LYING ADJACENT THERTO (EXC N 24 FT TAKEN FOR JOHNSON ST WIDENING) MAP OF THE CITY OF EAST SAGINAW, ALSO COMMONLY KNOWN AS HOYT'S PLAT.

**LEGEND**

----- = APPROXIMATE PROPERTY LINE

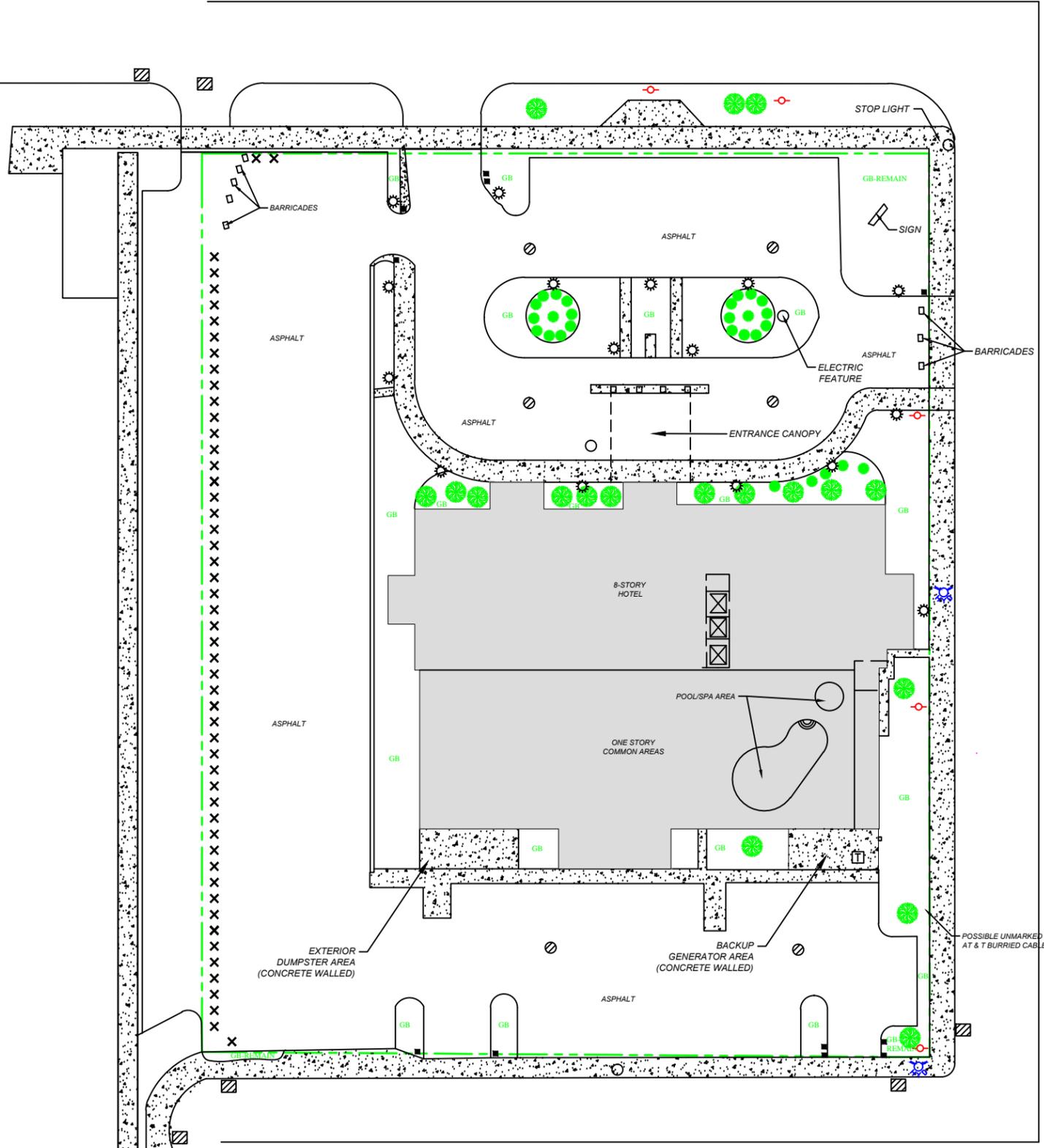
DRAWN BY: OGO  
 DATE: 05-24-12  
 0 25 50  
 SCALE: 1" = 50±0'  
 FIGURE 2

**PARCEL MAP**

FORMER PLAZA HOTEL  
 400 JOHNSON STREET  
 SAGINAW, MICHIGAN  
 PROJECT NUMBER : 7444s

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JOHNSON STREET



TUSCOLA STREET

NORTH JEFFERSON AVENUE



**LEGAL DESCRIPTION**

PARCEL ID # 03-0280-00000

ENTIRE BLK.60 & ELY 1/2 OF VACATED N BAUM ST LYING ADJACENT THERTO (EXC N 24 FT TAKEN FOR JOHNSON ST WIDENING) MAP OF THE CITY OF EAST SAGINAW, ALSO COMMONLY KNOWN AS HOYT'S PLAT.

**LEGEND**

- = APPROXIMATE PROPERTY LINE
- = LIGHT POLE
- = FIRE HYDRANT
- = CATCH BASIN
- = MANHOLE
- = PAD MOUNTED TRANSFORMER
- = STEEL POLE
- = GREEN BELT
- = CITY OWNED LIGHT POLE
- = FIRE HYDRANT

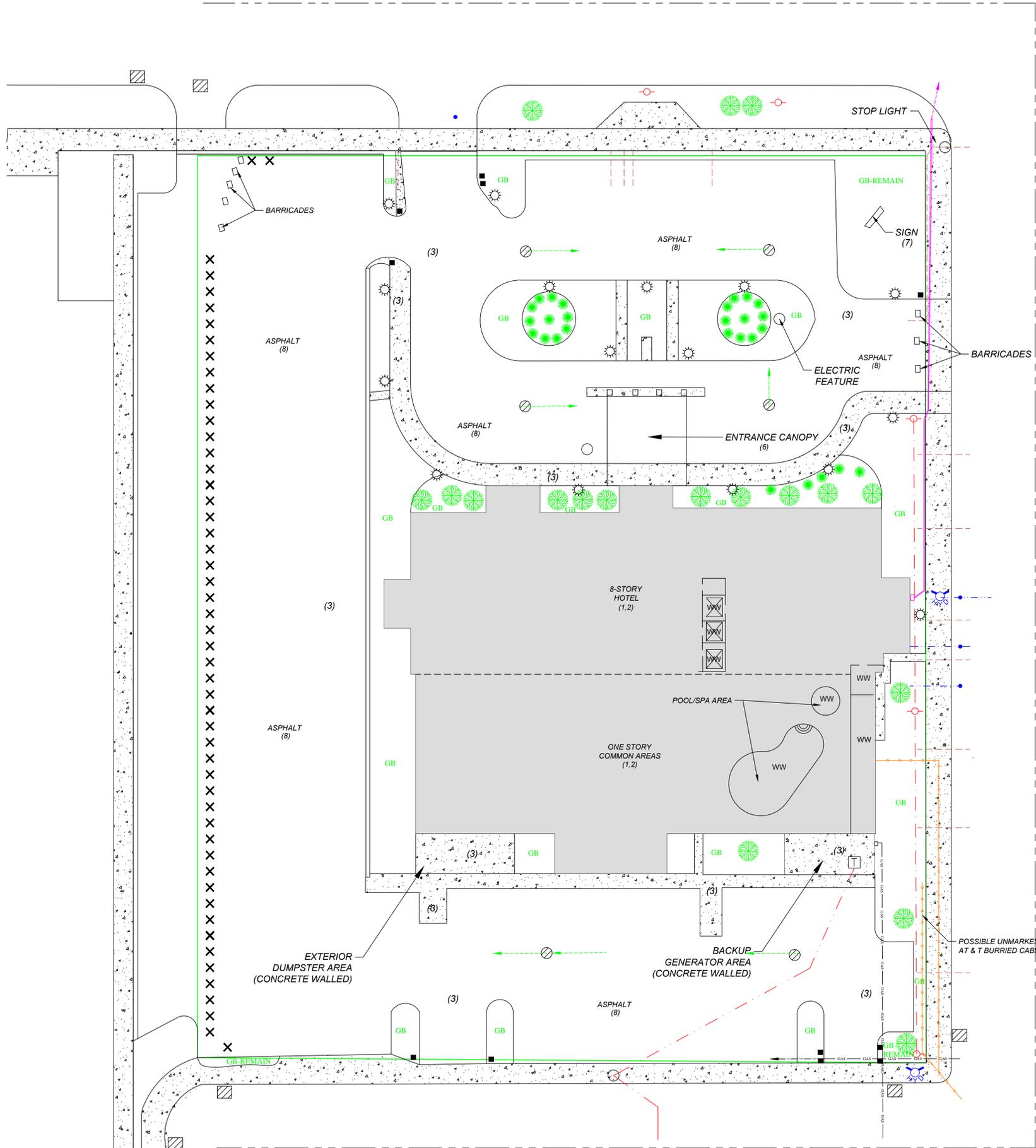
DRAWN BY: OGO  
 DATE: 05-24-12  
 SCALE: 1" = 50'-0"  
 FIGURE 3

SITE MAP

FORMER PLAZA HOTEL  
 400 JOHNSON STREET  
 SAGINAW, MICHIGAN  
 PROJECT NUMBER : 7444s

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JOHNSON STREET



Item ID	Description	Action
1	Hotel Structure (above grade), including interior/exterior concrete slabs	Remove
2	Hotel Structure - Grade Beams/Caissons (Below grade, ), see attached cross section prints	Remove
3	Concrete paving, sidewalks, and curbing (private only)	Remove
4	Light poles, flag poles, signs, wiring, and electrical features	Remove
5.1	Guard rails, guard rail posts, foundations	To be determined
5.2	Barricading/parking blocks, posts, foundations	Remove-unless otherwise specified
6	Entrance canopy and associated features	Remove
7	Hotel Entrance Sign	To be determined
8	Onsite asphalt parking	Keep, construction use permitted
9	Light poles (city owned)	To be determined
CB	Onsite catch basins	Keep and Protect
GB	Vegetation, sod, landscaping as indicated on map	Remove
GB	Topsoil/sand/fill	Removal and landfill disposal
T	Trees (located within property boundary only)	Remove
WW	Waste water (pool/spa, elevator, boiler equipment, etc.)	Remove/dischARGE to sanitary service
See legend	Utilities as identified on map or encountered during work	Remove, Cut, Cap

GENERAL DEMOLITION / UTILITY NOTES:

- CONTRACTOR RESPONSIBLE FOR DEMOLITION, REMOVAL, AND DISPOSING IN LOCATION APPROVED BY ALL GOVERNING AUTHORITIES OF ALL SPECIFIED STRUCTURES, PADS, WALLS, FOUNDATIONS, DRIVES, UTILITIES, TRASH, DEBRIS, SITE FEATURES, MATERIAL, MATERIAL PILES, FENCING, TREES, ETC.
- CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO REMOVAL AND/OR RELOCATION OF UTILITIES.
- CONTRACTOR SHALL COORDINATE PROTECTION AND RELOCATION OF UTILITIES WITH UTILITY SERVICE PROVIDER.
- THE EXISTING SITE FEATURES AND UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AT THE TIME OF DRAWING AND ARE GIVEN FOR CONTRACTOR CONVENIENCE. ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF UTILITIES OR OTHER SITE FEATURES SHOWN. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER TO DETERMINE EXACT LOCATION OF UTILITIES.
- IT IS NOT THE INTENTION OF THIS PLAN TO INDICATE ALL SERVICES AND LEADS; HOWEVER, ALL SHALL BE CUT, PLUGGED AND DEMOLISHED PER THE SPECIFICATIONS AND/OR IN CONJUNCTION WITH REQUIREMENTS OF UTILITY SERVICE PROVIDER.
- ALL EXISTING UTILITIES AND SITE FEATURES ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. CONTRACTOR IS REQUIRED TO VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION.
- CONTRACTOR MUST PROTECT PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, STREET CLOSURES, ETC.
- UNLESS OTHERWISE PERMITTED CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES.
- PRIOR TO DEMOLITION ACTIVITIES ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED.
- SITE FEATURES REQUIRING DEMOLITION MAY NOT BE ILLUSTRATED ON THE SITE PLANS. PRIOR TO SUBMITTING A BID THE CONTRACTOR IS REQUIRED TO VISIT THE SITE AND VERIFY SITE CONDITION AND QUANTITIES.
- DEMOLITION AND DISPOSAL OF ENTRANCE SIGN LOCATED ON NORTHEASTERN PORTION OF THE PROPERTY IS TO BE DETERMINED. IF AUTHORITY ELECTS TO KEEP SIGN, REMOVE SUBSURFACE WIRING ALONG WITH OTHER SITE DEMOLITION WORK. LEAVE 5 FEET OF WIRING CONNECTED TO SIGN FOR FUTURE SERVICE.
- DEMOLITION AND DISPOSAL OF THE THREE LIGHT POLES LOCATED ON EASTERN PROPERTY BOUNDARY ALONG NORTH JEFFERSON AVENUE IS TO BE DETERMINED. WORK PENDING APPROVAL BY ENGINEER AND CITY. THIS WORK MAY BE OMITTED FROM CONTRACT.
- DEMOLITION AND DISPOSAL OF GUARD RAIL AND GUARD RAIL POSTS LOCATED ON WESTERN AND NORTHWESTERN PORTION OF THE PROPERTY IS TO BE DETERMINED. PROTECT FROM DAMAGE, IF AUTHORITY ELECTS TO KEEP GUARD RAIL AND POSTS.

LEGAL DESCRIPTION

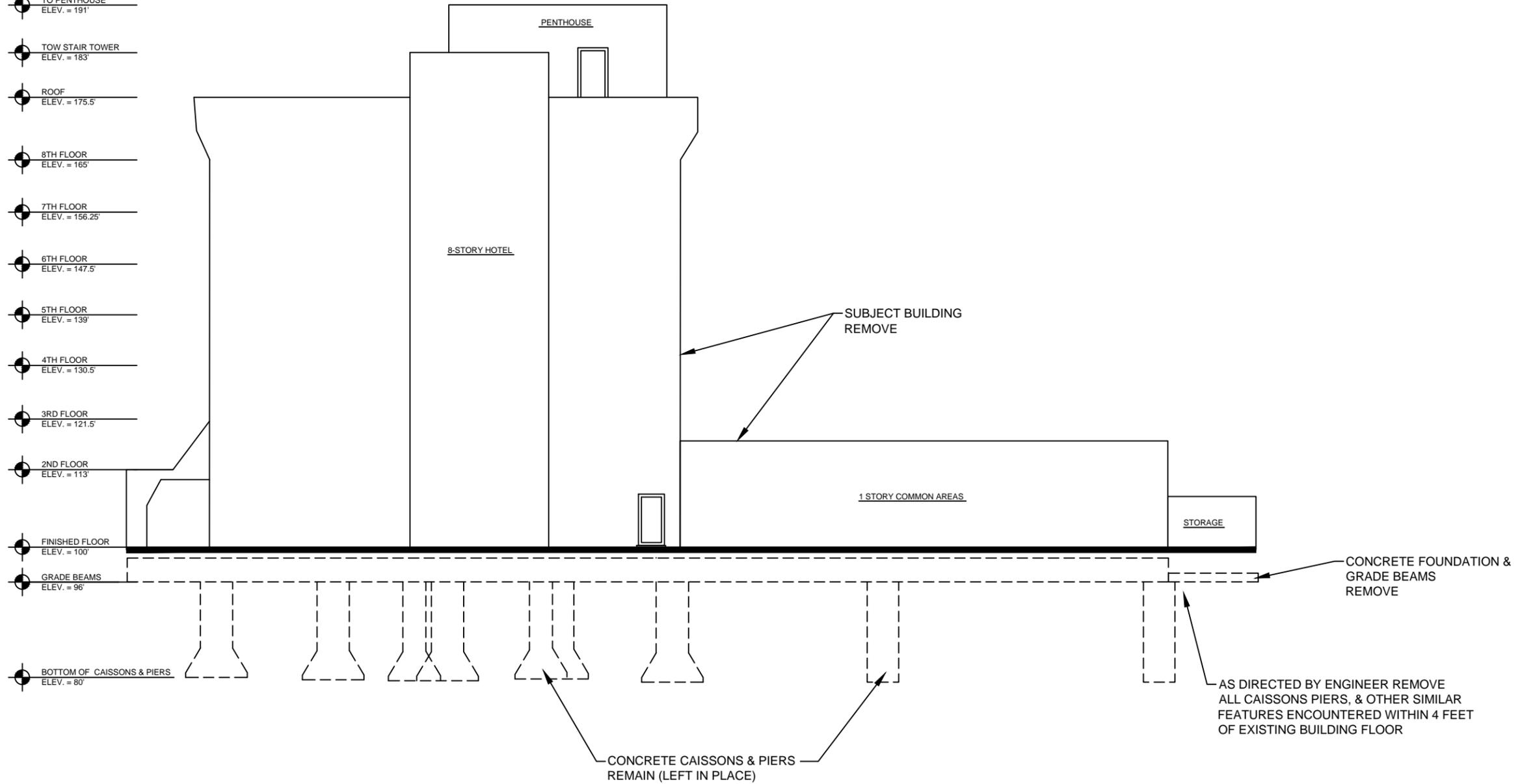
PARCEL ID # 03-0286-00000  
 ENTIRE BLK 60 & ELY 12 OF VACATED N BAUM ST LYING ADJACENT THERETO (ENC N 24 FT TAKEN FOR JOHNSON ST WIDENING MAP OF THE CITY OF EAST SAGINAW, ALSO COMMONLY KNOWN AS HOYT'S PLAT.

LEGEND

- - - - - APPROXIMATE PROPERTY LINE
- LIGHT POLE
- FIBRE HYDRANT
- CATCH BASIN
- MANHOLE
- PAD MOUNTED TRANSFORMER
- STEEL POLE
- GREEN BELT
- CITY OWNED LIGHT POLE
- FIBRE HYDRANT
- WATER SHUT-OFF
- WATER LINE
- SEWER LINE
- GAS LINE
- STORM LINE (REMAIN)
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- AT & T BARRIED CABLE
- CHARTER CABLE TV



- TO PENTHOUSE  
ELEV. = 191'
- TOW STAIR TOWER  
ELEV. = 183'
- ROOF  
ELEV. = 175.5'
- 8TH FLOOR  
ELEV. = 165'
- 7TH FLOOR  
ELEV. = 156.25'
- 6TH FLOOR  
ELEV. = 147.5'
- 5TH FLOOR  
ELEV. = 139'
- 4TH FLOOR  
ELEV. = 130.5'
- 3RD FLOOR  
ELEV. = 121.5'
- 2ND FLOOR  
ELEV. = 113'
- FINISHED FLOOR  
ELEV. = 100'
- GRADE BEAMS  
ELEV. = 96'
- BOTTOM OF CAISSONS & PIERS  
ELEV. = 80'



DRAWN BY: OGO  
DATE: 05-24-12

0 10 20  
SCALE: 1" = 20'-0"

FIGURE 4.2

DEMOLITION PLAN - WEST ELEVATION

FORMER PLAZA HOTEL  
400 JOHNSON STREET  
SAGINAW, MICHIGAN  
PROJECT NUMBER : 7444s

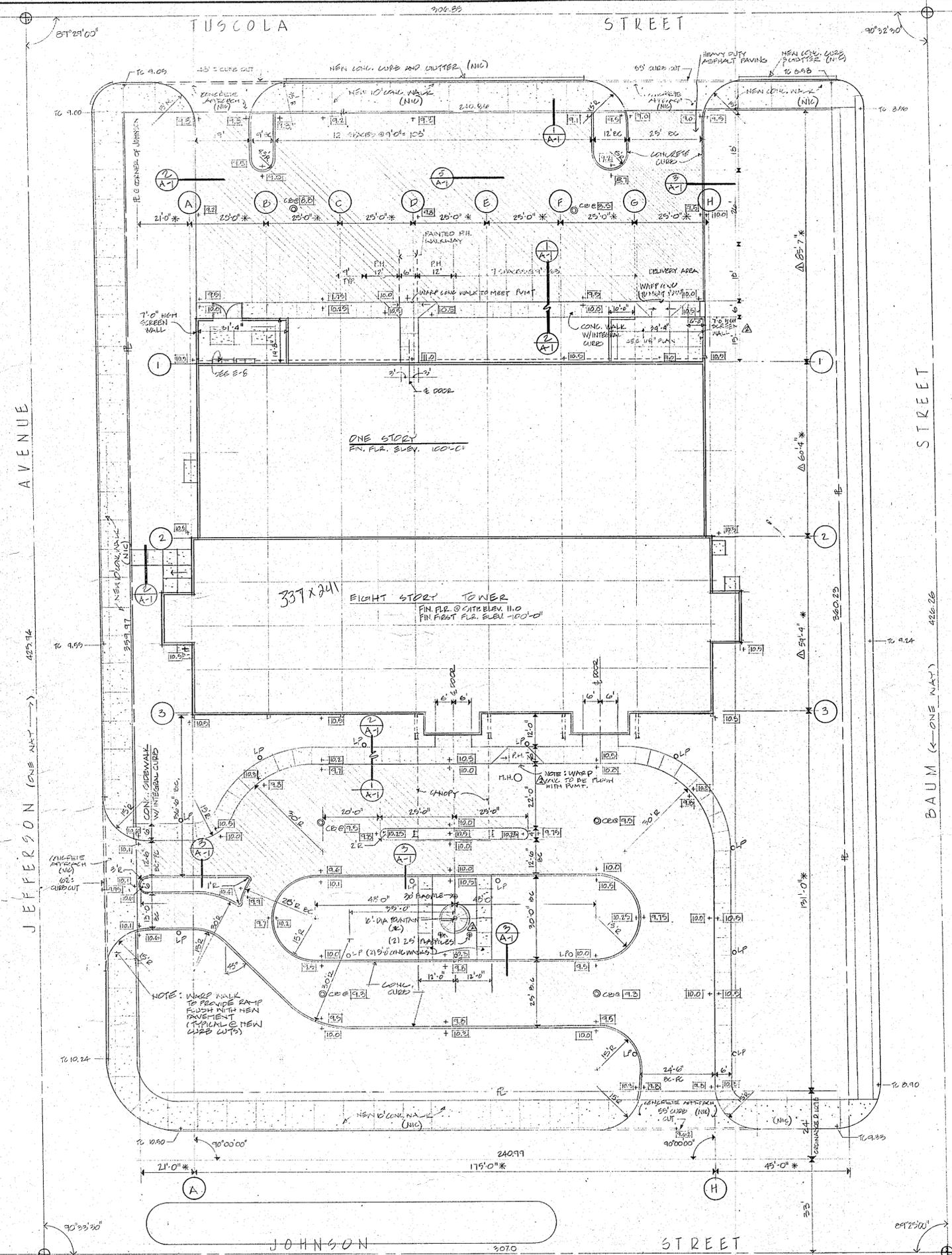


SAGINAW COUNTY BUILDING AUTHORITY  
PROJECT MANUAL AND TECHNICAL SPECIFICATIONS

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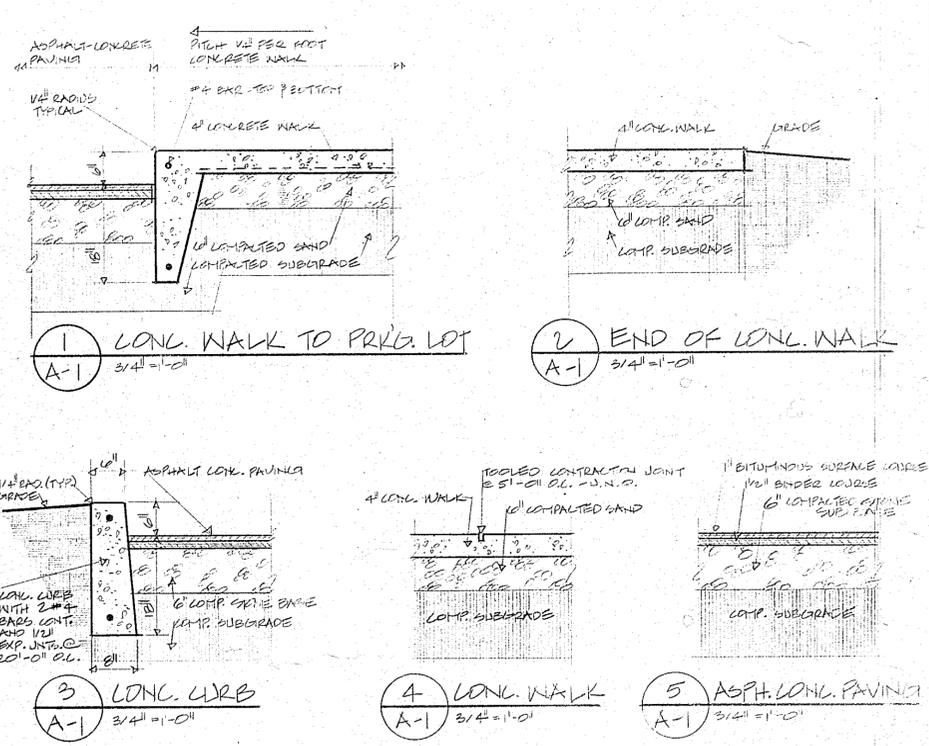
**HISTORICAL BLUEPRINTS**





NOTES

- \* INDICATES DIMENSION IS TO E OF STRUCTURAL COLUMN UNLESS NOTED OTHERWISE. ARCHITECTURAL DRAWINGS FOR RELATIONSHIP WITH THIS SET.
- BUILDING IS SET PARALLEL TO JOHNSON STREET UNLESS NOTED OTHERWISE. ALL BUILDING LINES ARE EITHER PARALLEL OR PERPENDICULAR TO THE E. OF JOHNSON ST. LAYOUT POINTS ARE THE 1/4 CORNERS OF JEFFERSON AVENUE AND JOHNSON STREET.
- BENCHMARK: CITY OF CAGANAW DOWNS THE ZERO OF WHICH IS ELEV. 902.19 USGFC DATUM. AERON ON HYDRANT 3 N.E. CORNER OF TUSCOLA & FRANKLIN'S ELEV. 1172. FIRST FLOOR OF DOWNTOWN CAGANAW MALL IS ELEV. 9102.

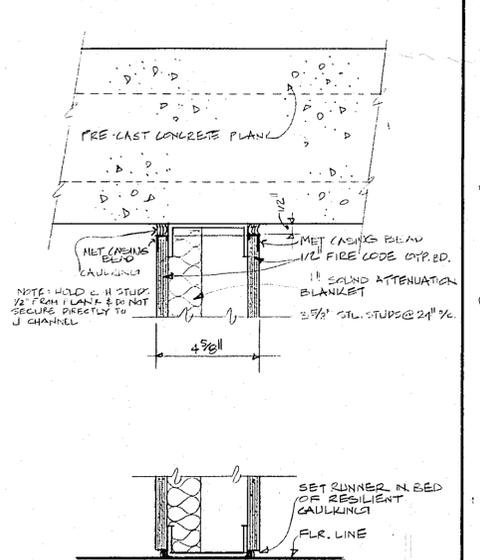
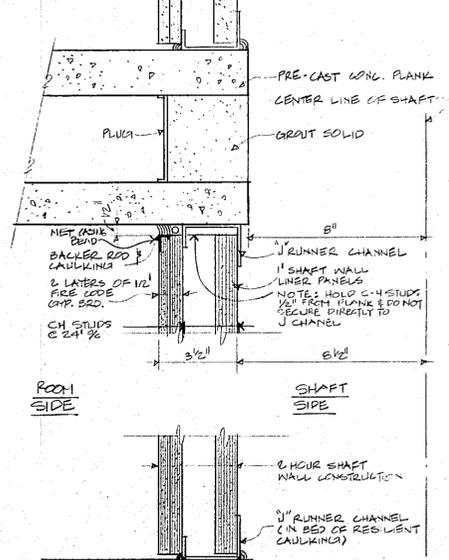
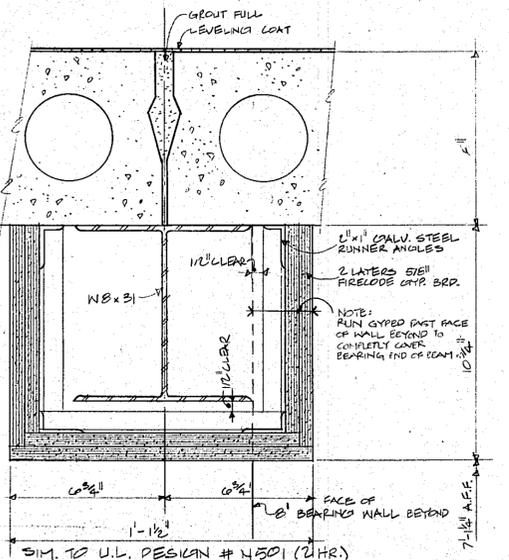
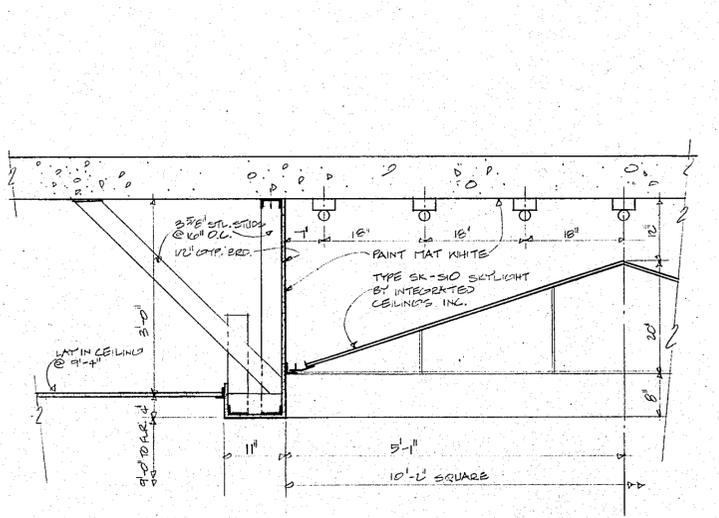
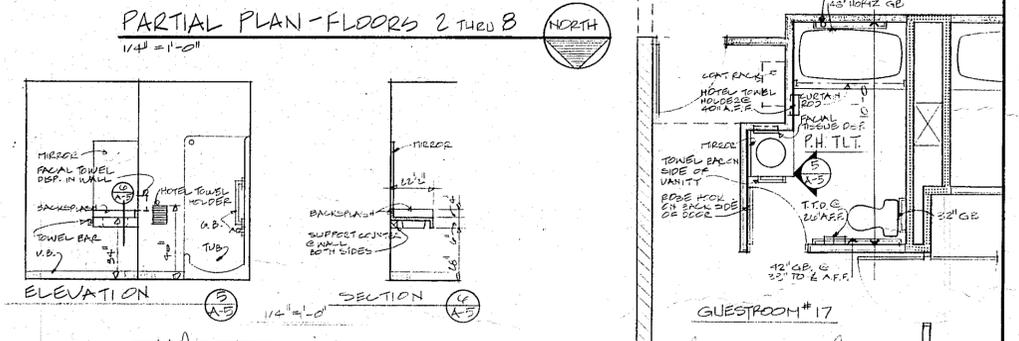
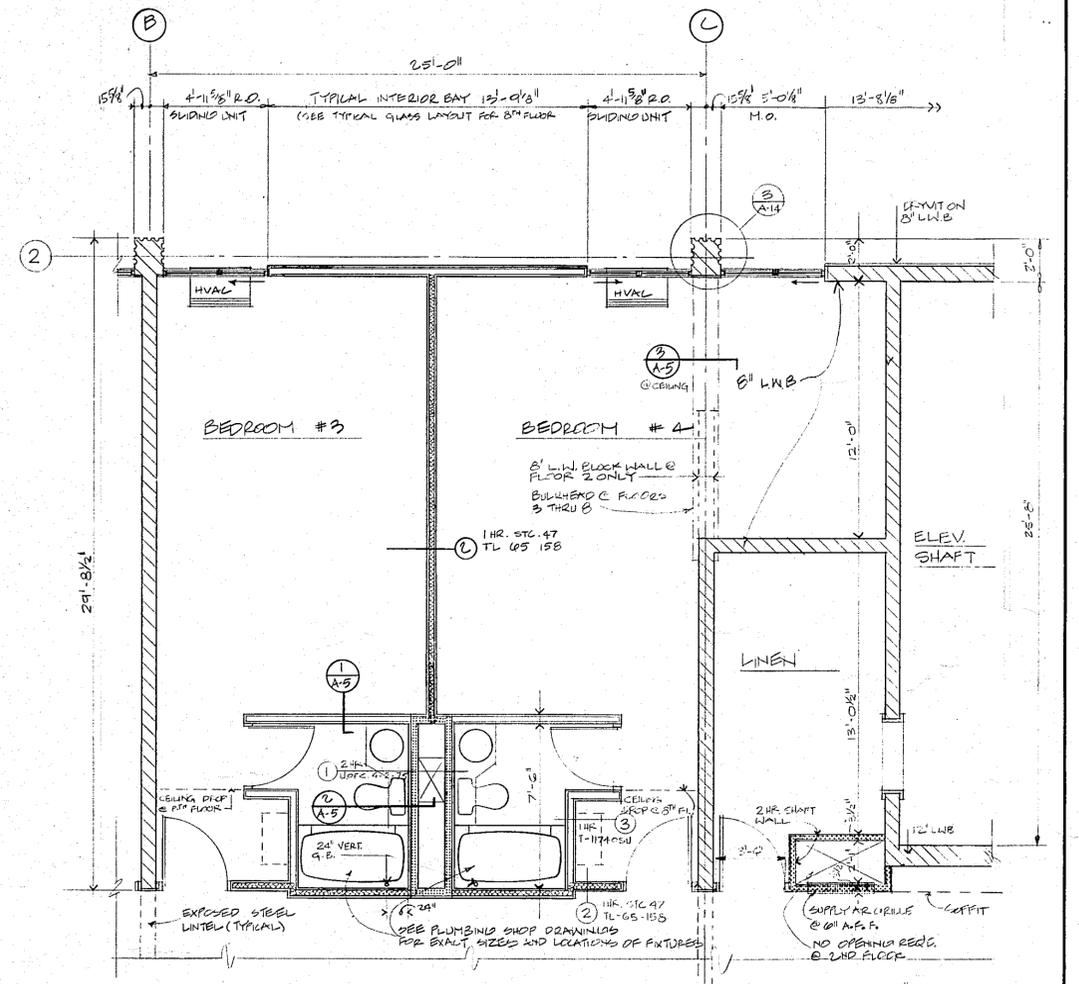
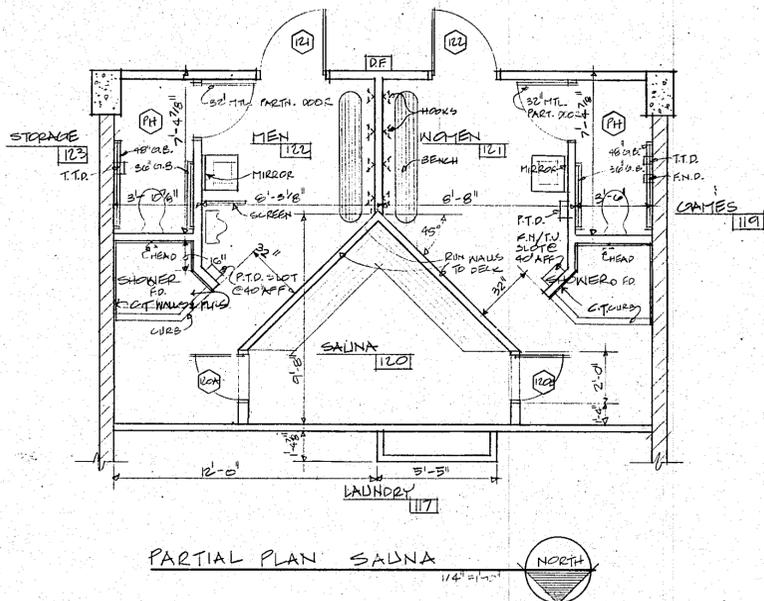
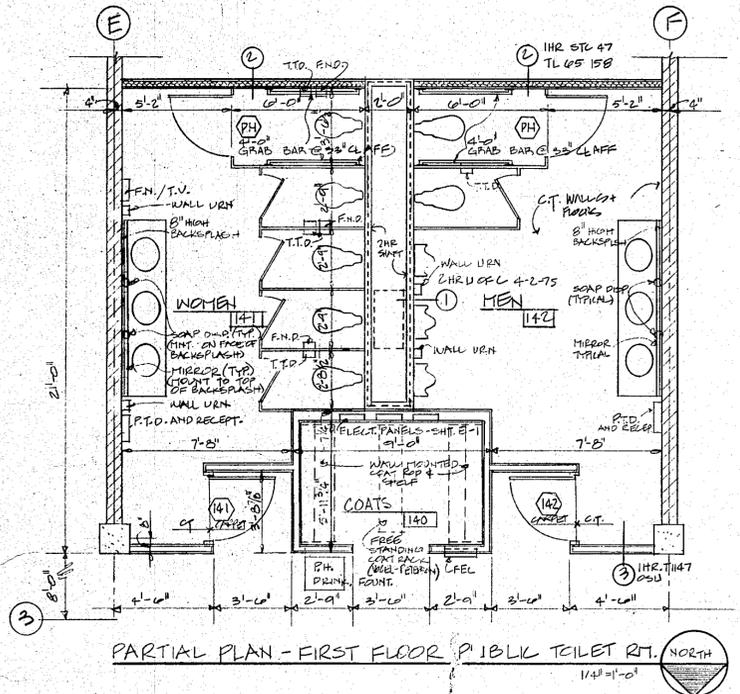


SHEET INDEX

ARCHITECTURAL	ELECTRICAL	MECHANICAL	FOOD EQUIPMENT SERVICE
A-1 SITE PLAN, DETAIL	E-1 FIRST FLOOR POWER PLAN	M-1 SITE PLAN	FES-1 EQUIPMENT, HOT
A-2 FIRST FLOOR PLAN	E-2 COST ESTIMATE, LIGHTING PLAN	M-2 FOUNDATION PLAN	FES-2 VENTILATION AND EXHAUST DEPENDENT
A-3 2ND - 8TH FLOOR PLAN	E-3 2ND FLOOR POWER PLAN	M-3 FIRST FLOOR PLUMBING PLAN	FES-3 ELECTRICAL ROOM IN
A-4 VERTICAL CURTAIN RESTRICTION AND INTERELEVATIONS	E-4 3RD FLOOR POWER PLAN	M-4 EIGHTH FLOOR PLUMBING AND HV PLAN	FES-4 MECHANICAL ROOM IN
A-5 1ST FLOOR PLANS AND DETAILS	E-5 4TH FLOOR POWER PLAN	M-5 1ST FLOOR PLUMBING AND HV PLAN AND ISOMETRIC	
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A-7 ROOF PLAN	E-7 TYPICAL ROOM ELECT. PLAN, OTHERS, LIGHTS AND SW. LIGHT SCHED.	M-7 PLUMBING AND ROSS SCHEMATIC	
A-8 NORTH BUILDING ELEVATION	E-8 PARTIAL LIGHTEN PLAN, PARTIAL ROOM PANEL SCHEDULE	M-8 PIPE AND P.A. ROSS	
A-9 SOUTH BUILDING ELEVATION	E-9 PARTIAL LIGHTEN PLAN, PARTIAL ROOM PANEL SCHEDULE	M-9 FIRST FLOOR HVAC PLAN	
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A-12 ELEVATION AND STAIR SECTIONS, WEST STAIR PLAN	E-12 ELECTRICAL SERVICE, ELEC. PANEL AND	M-12 KITCHEN PLUMBING PLAN	
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A-14 WALL SECTION AND DETAIL			



D. A. CAGANAW & RADISSON



4 SKYLIGHT SECTION  
A-5 3/4\"=1'-0\"

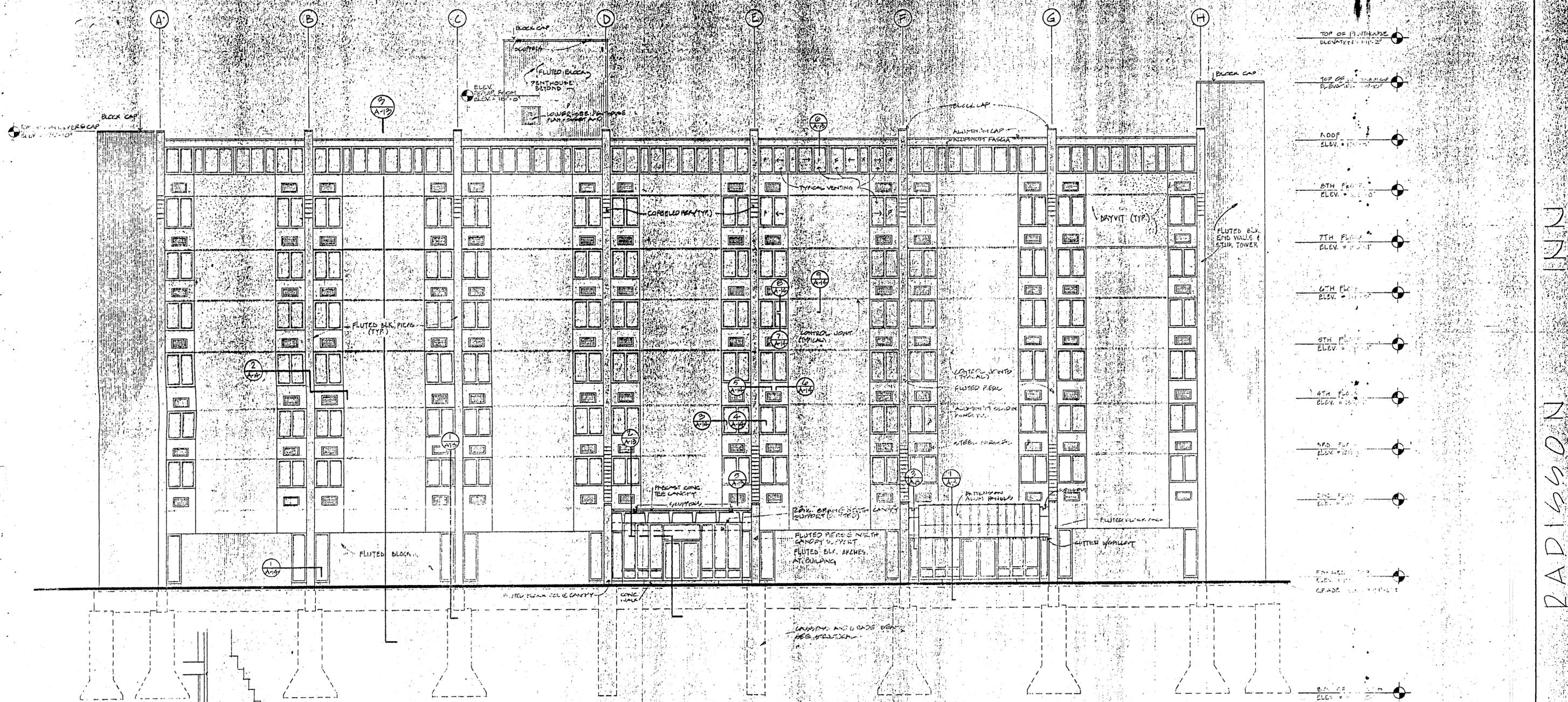
3 BULKHEAD  
A-5 3/4\"=1'-0\"

2 DETAIL OF 2 HR. SHAFT WALL  
A-5 3/4\"=1'-0\" USG TEST URC 4-2-75 STC 29

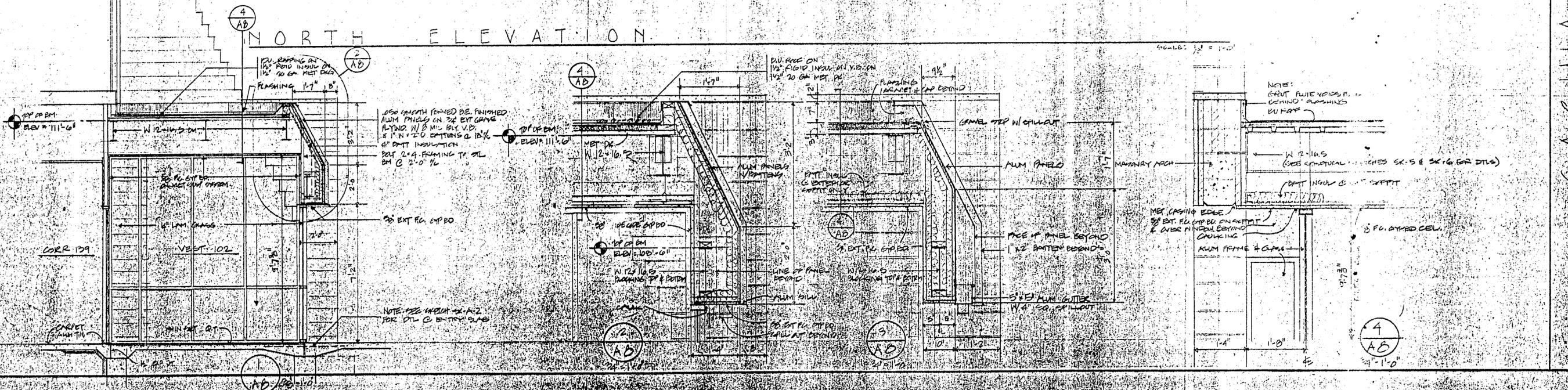
1 TYPICAL GUEST ROOM WALL  
A-5 3/4\"=1'-0\" USG TEST T-2262 CSU, STC 47

SAGINAW RADISSON





NORTH ELEVATION



NOTE:  
 CHUTE FLUE VENTERS IN  
 CEILING FLASHING  
 DU HALL

W 2-10.5  
 (SEE ANCHORAGE W/CHES SK-5 & SK-6 FOR DTLS)

NOTE: INSUL & BATTERY BEYOND  
 FLASHING

ALUM FRAME & GLASS

8" FO. STYREO CEL.

4  
 AB

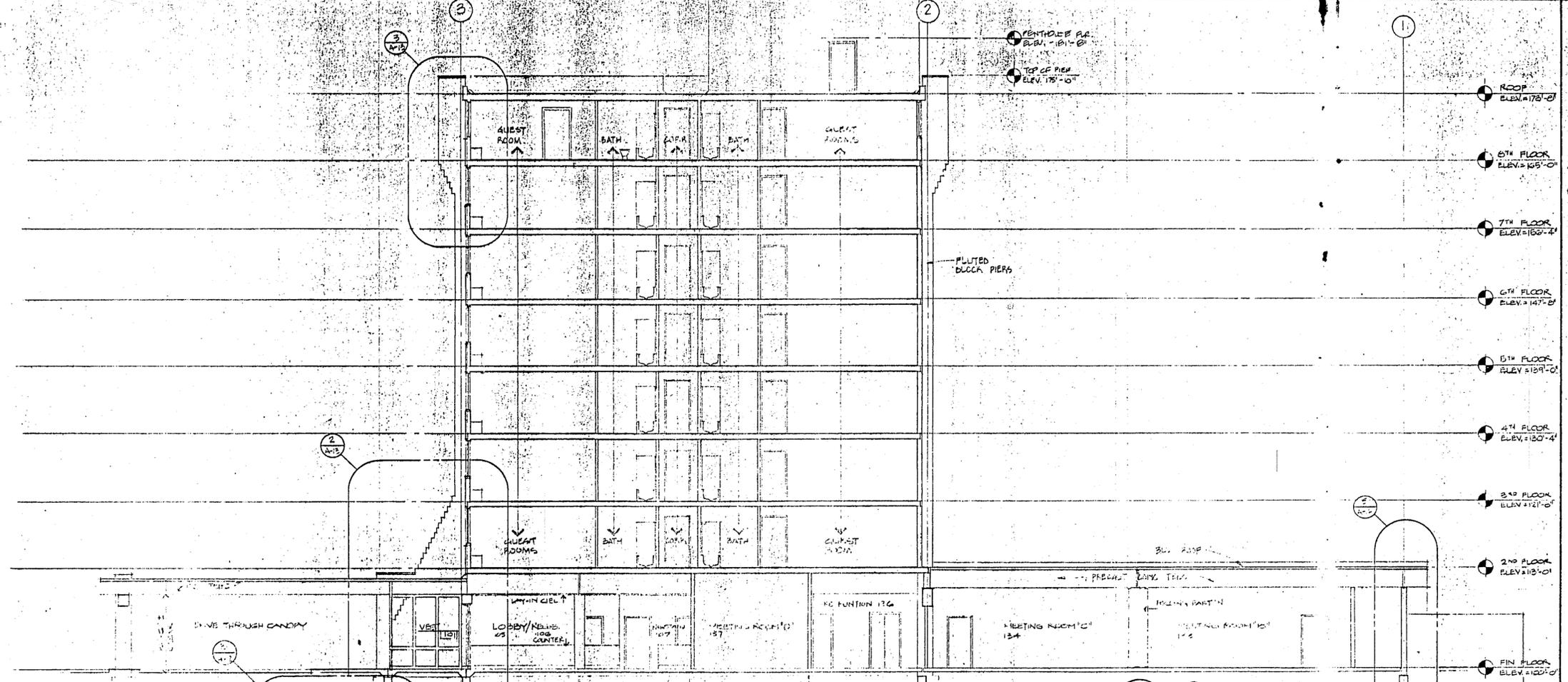
SAGINAW  
 BASINAW

2  
 IN  
 HIGHWAY

RADISSON

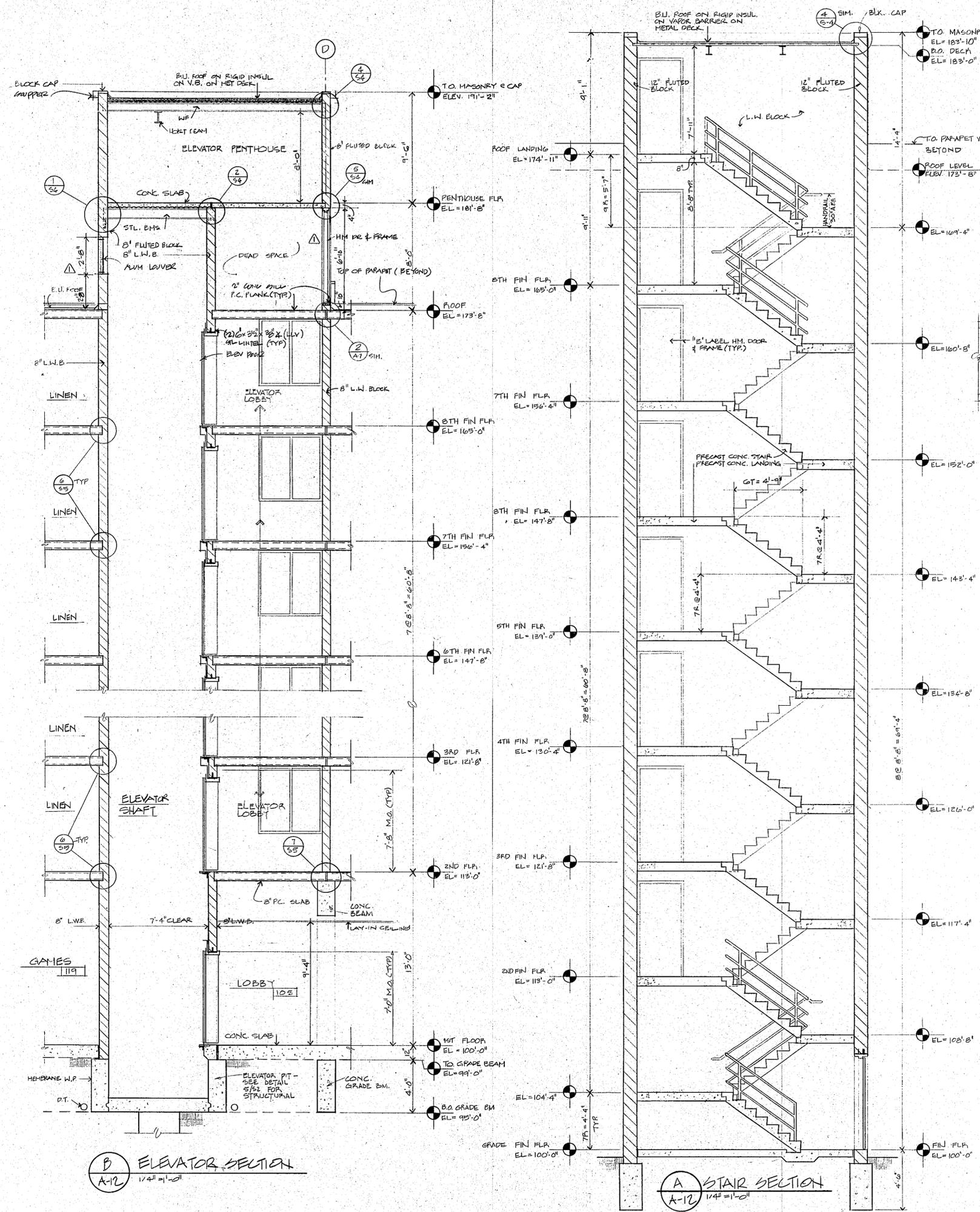






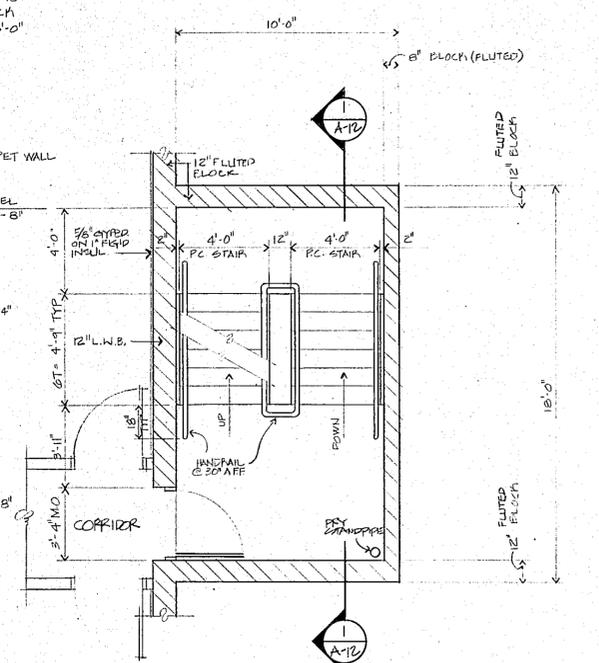
SAGINAW MICHIGAN  
 RADISSON  
 SAGINAW

BUILDING SECTION A  
 1/27/68

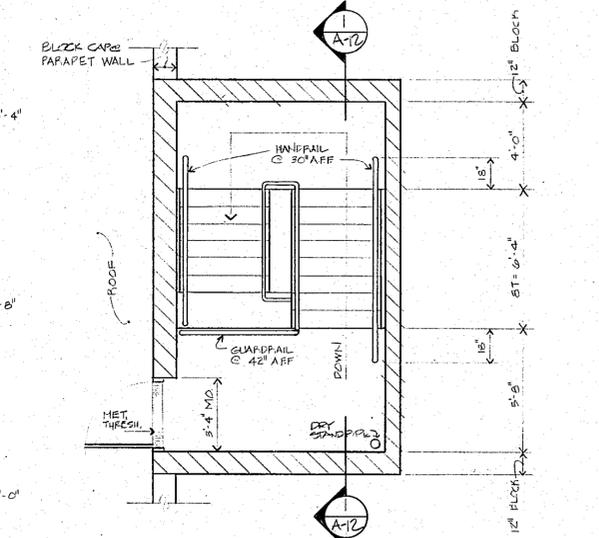


**B ELEVATOR SECTION**  
 1/4" = 1'-0"

**A STAIR SECTION**  
 1/4" = 1'-0"



**WEST STAIR PLAN—FLOORS 2 THRU 8** NORTH  
 1/4" = 1'-0"

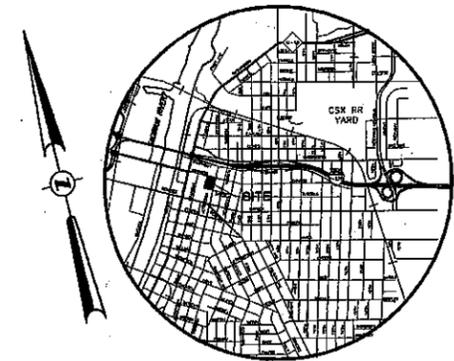


**WEST STAIR PLAN ROOF LANDING** NORTH  
 1/4" = 1'-0"

SAGINAW  
 SAGINAW  
 SAGINAW  
 RADISSON  
 MICHIGAN  
 INN



JOHNSON STREET



LOCATION MAP

NOT TO SCALE

LEGEND	
⊕	MONUMENT / SECTION CORNER
⊙	FOUND PROPERTY IRON
⊚	SET PROPERTY IRON
⊛	EXISTING CATCH-BASIN
⊜	EXISTING MANHOLE/CATCH-BASIN
⊝	EXISTING MANHOLE
⊞	EXISTING HYDRANT
⊟	EXISTING VALVE
⊠	EXISTING SANITARY SEWER
⊡	EXISTING STORM SEWER
⊢	EXISTING WATERMAIN
⊣	EXISTING FENCE LINE
⊤	UNDERGROUND ELECTRIC LINE
⊥	UNDERGROUND GAS LINE
⊦	UNDERGROUND TELEPHONE LINE
⊧	UNDERGROUND CABLE T.V. LINE
⊨	OVERHEAD ELECTRICAL WIRES
⊩	EXISTING MAN-BOX / NEWSPAPER BOX
⊪	EXISTING SIGN
⊫	EXISTING DECIDUOUS TREES
⊬	EXISTING CONIFEROUS TREES
⊭	EXISTING UTILITY POWER POLE
⊮	EXISTING TELEPHONE RISER
⊯	EXISTING CUYWIRE

UTILITY CONTACTS	
<b>TELEPHONE</b>	<b>GAS AND ELECTRIC</b>
AMERITECH 970 ENGINEERING DEPARTMENT ROOM 626 SOUTH WASHINGTON AVENUE SAGINAW, MICHIGAN 48607 517-778-4070	CONSUMERS ENERGY 2400 WEDGERS STREET SAGINAW, MICHIGAN 48602 517-791-5803 SALLY TOWN 517-778-4070
<b>ZONING</b>	<b>WATER/SEWER</b>
CITY OF SAGINAW STEPHANIE HARDEN 1315 S. WASHINGTON AVE. SAGINAW, MICHIGAN 517-738-1303	CITY OF SAGINAW CITY ENGINEERING 1435 S. WASHINGTON AVE. SAGINAW, MICHIGAN 517-738-1670

**LEGAL DESCRIPTION (PROVIDED BY OWNER)**

LAND SITUATED IN THE CITY OF SAGINAW, SAGINAW COUNTY, MICHIGAN DESCRIBED AS FOLLOWS:

BLOCK 60, INCLUDING THE EAST 1/2 OF VACATED BAUM STREET, EXCEPT THE NORTHERLY 24 FEET, HOYT'S PLAT OF THE CITY OF EAST SAGINAW, NOW PART OF THE CITY OF SAGINAW, SAGINAW COUNTY, MICHIGAN, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 38 PAGE 303, SAGINAW COUNTY RECORDS.

**SCHEDULE B EXCEPTIONS**

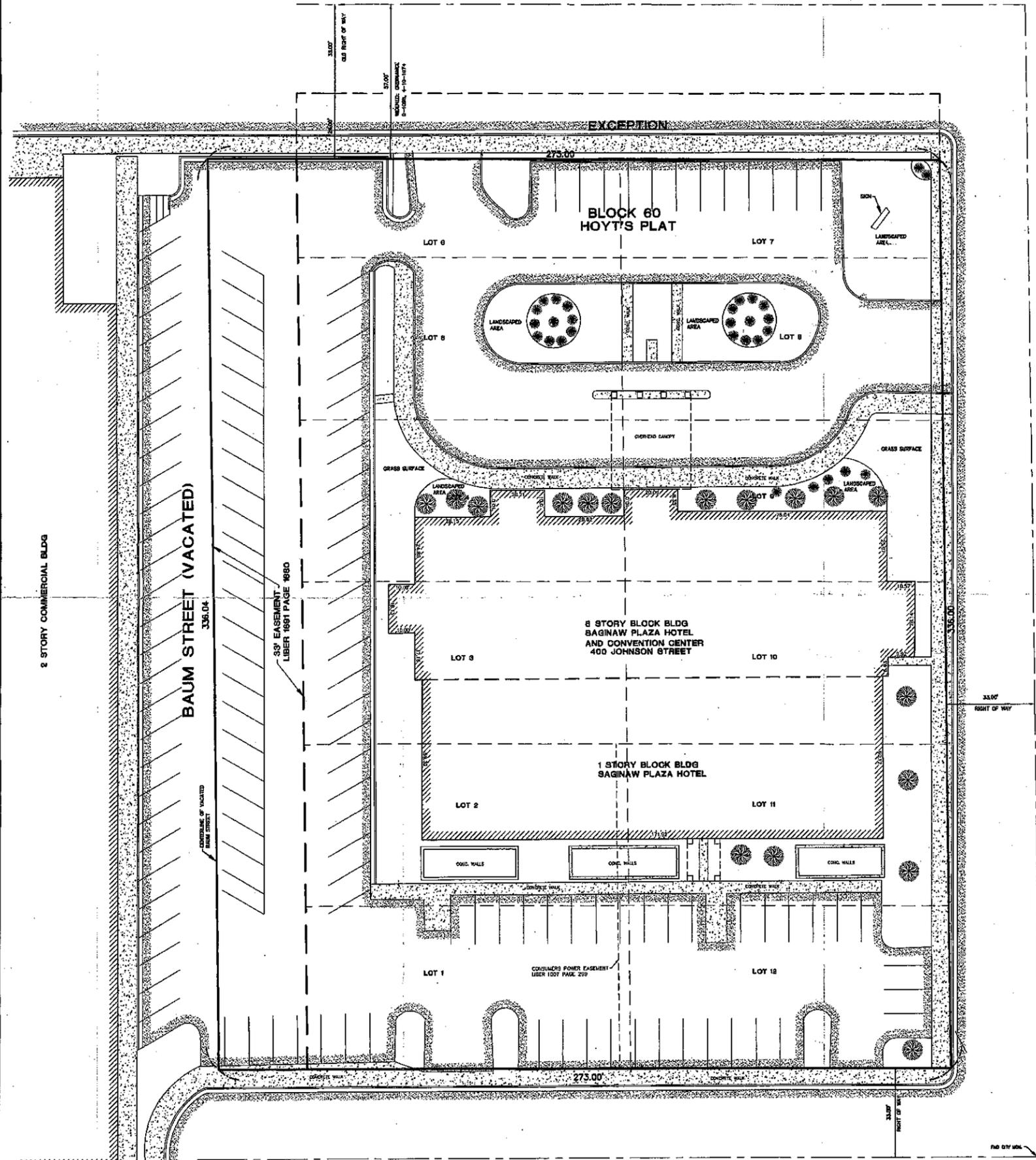
LANDAMERICA LAWYERS TITLE  
CASE NO. M 90240  
EFFECTIVE DATE: OCTOBER 20, 2003

5. TERMS AND CONDITIONS OF URBAN RENEWAL PLAN AS AMENDED, FOR CENTRAL BUSINESS DISTRICT, URBAN RENEWAL PROJECT ONE, RECORDED NOVEMBER 19, 1989 IN LIBER 1300 ON PAGE 554, SAGINAW COUNTY RECORDS.

6. EASEMENT IN FAVOR OF CONSUMERS POWER COMPANY FOR ELECTRIC LIGHT AND POWER LINES RECORDED IN LIBER 1037 ON PAGE 289, SAGINAW COUNTY RECORDS, OVER THE FOLLOWING DESCRIBED ROUTE: EAST 4 FEET OF LOTS 1 AND 2, (AS SHOWN)

7. TERMS AND CONDITIONS OF URBAN RENEWAL PLAN DATED JANUARY 12 1988 AND ULTIMATELY AMENDED DECEMBER 8, 1989 AND RECORDED DECEMBER 11, 1989 RECORDED IN LIBER 1662 ON PAGE 1737, SAGINAW COUNTY RECORDS.

8. TERMS AND CONDITIONS OF ORDINANCE VACATING BAUM STREET AND RESERVING EASEMENTS RECORDED JANUARY 5, 1987 IN LIBER 1601 ON PAGE 1580, SAGINAW COUNTY RECORDS. (AS SHOWN)



TUSCOLA STREET

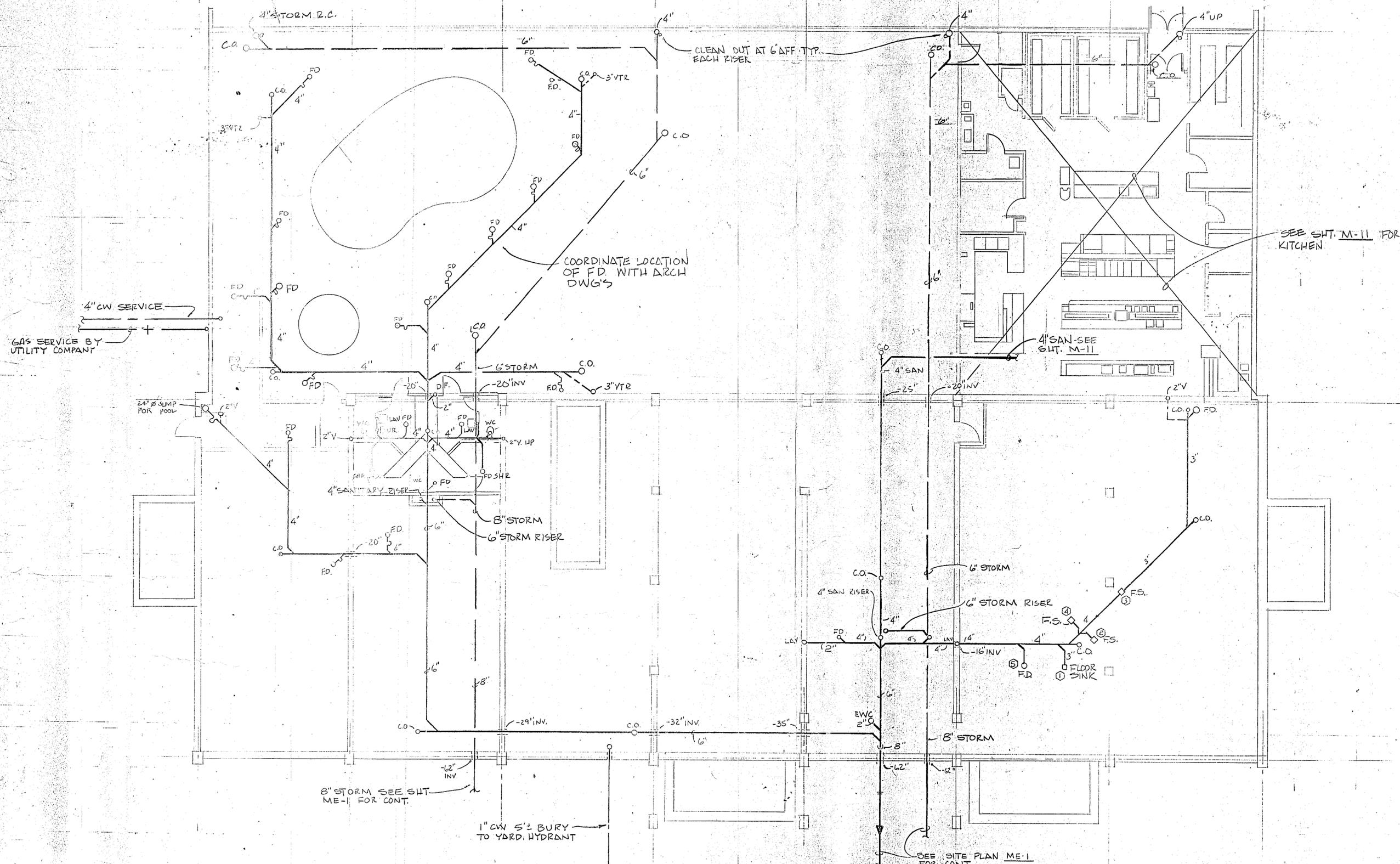
N. JEFFERSON AVE

2 STORY COMMERCIAL BLDG  
BAUM STREET (VACATED)

DATE: 08-14-03  
RC ASSOCIATES, INC.  
ALL RIGHTS RESERVED

A B C D E F G H

3  
26  
6  
156



8" STORM SEE SHIT ME-1 FOR CONT.

1" CW 5'± BURY TO YARD. HYDRANT



FOUNDATION PLAN : PLUMBING  
SCALE 1/8"=1'-0"

SEE SHIT. M-11 FOR KITCHEN

4" SAN SEE SHIT. M-11

4" CW SERVICE  
GAS SERVICE BY UTILITY COMPANY

24" SUMP FOR POOL

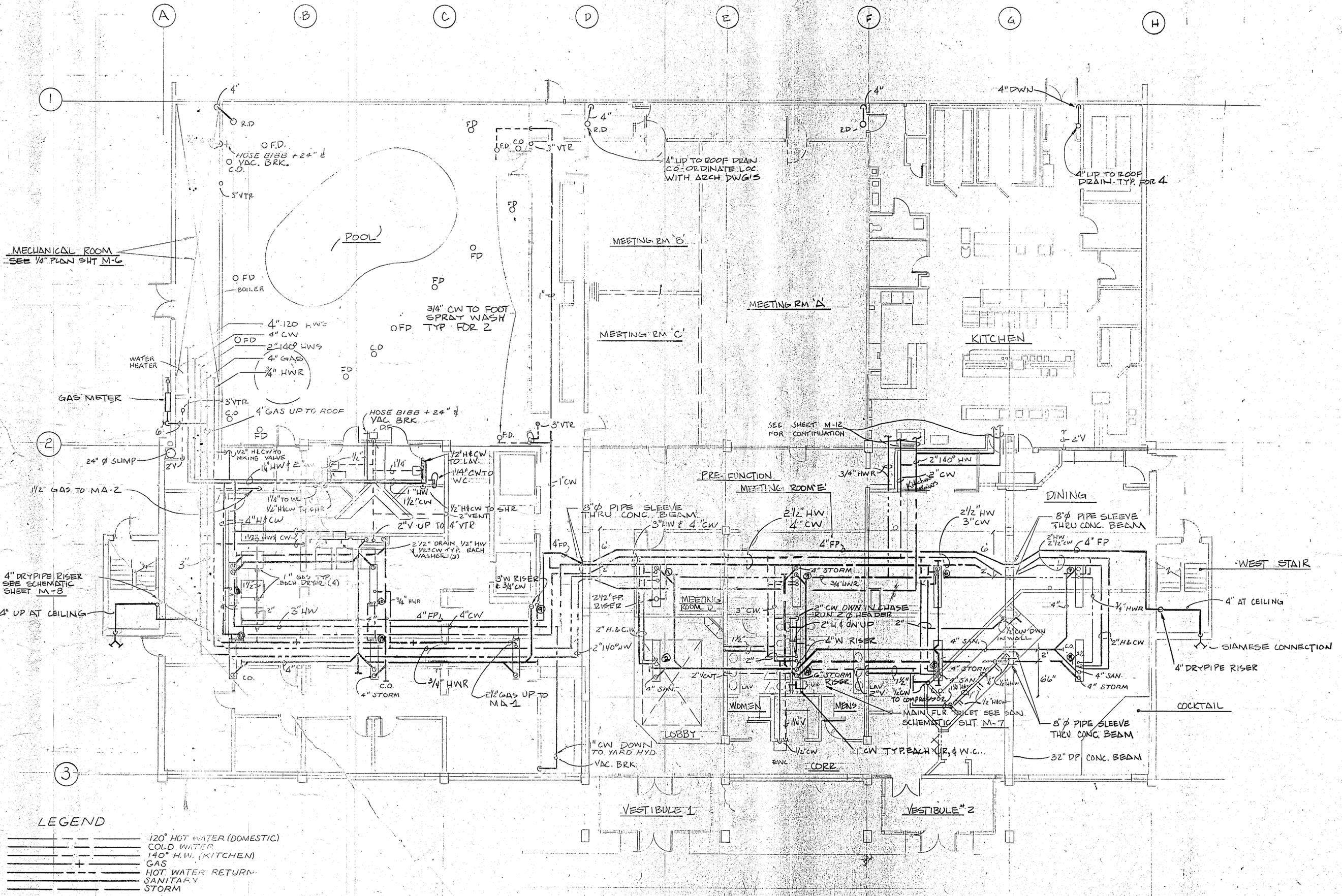
CLEAN OUT AT 6" OFF TYP. EACH RISER

COORDINATE LOCATION OF FD. WITH ARCH DWG'S

MINN  
HIGAN  
M

RADISSON

SAGINAW  
SAGINAW



**LEGEND**

	120° HOT WATER (DOMESTIC)
	COLD WATER
	140° H.W. (KITCHEN)
	GAS
	HOT WATER RETURN
	SANITARY
	STORM

1ST FLOOR PLAN PLUMBING  
1/8"=1'-0"

SAGINAW RADISSON